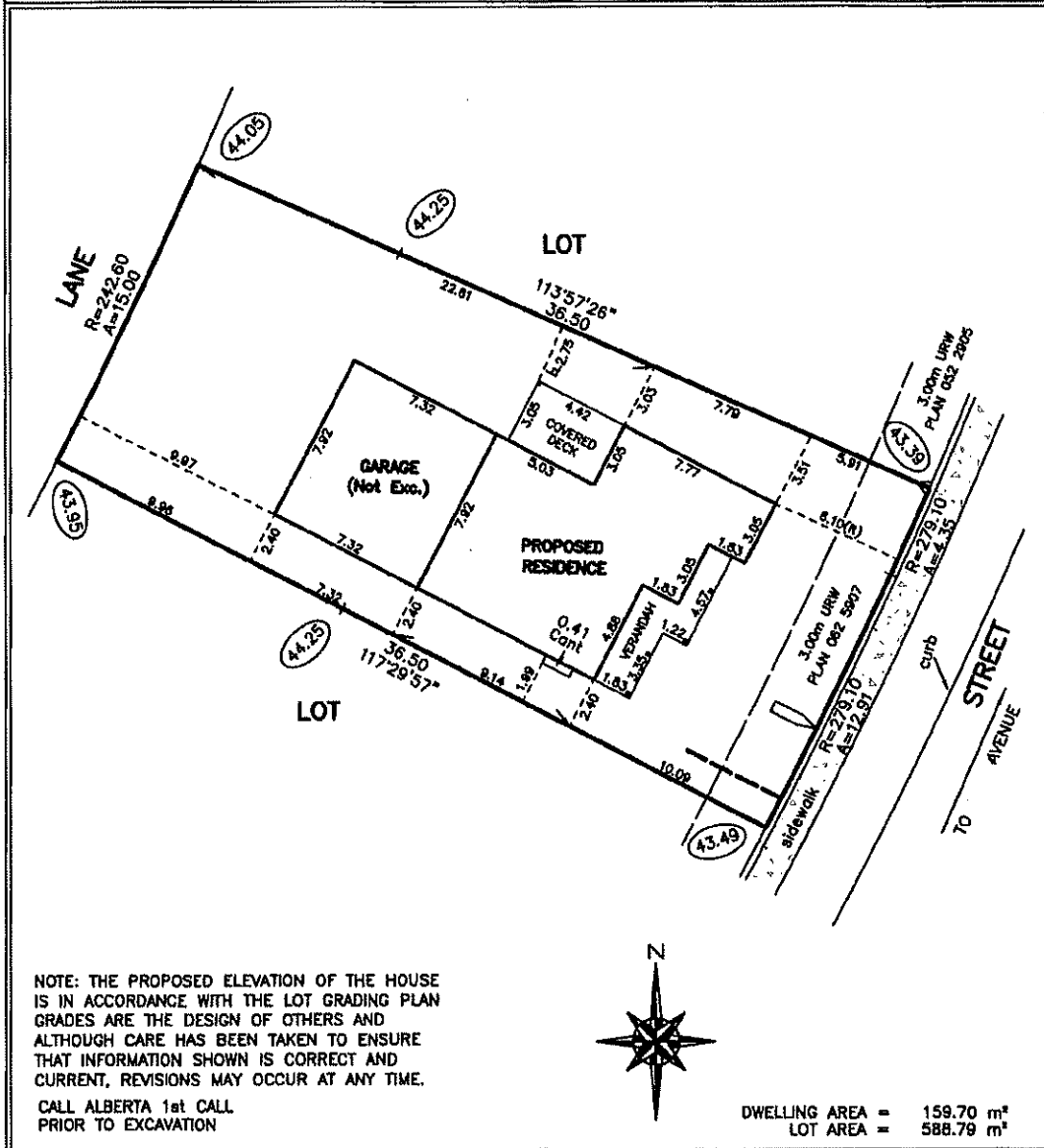




# **Single Family Development Package**

# SAMPLE PLOT PLAN

ALBERTA LAND SURVEYORS



LOT	BLK.	PLAN	SUBDIVISION VALLEYVIEW STAGE 3	BUILDER OR OWNER
SCALE 1: 250	JOB NO.	DATE:	ADDRESS	CAMROSE
SANITARY SEWER INVERT AT PROPERTY LINE = 40.429 FINISHED FLOOR ELEVATION = 45.35 FINISHED GRADE FRONT OF HOUSE = 44.00 FINISHED GRADE BACK OF HOUSE = 44.40 GARAGE FLOOR ELEVATION= 44.40 AT OVERHEAD DOOR BOTTOM OF FOOTINGS = 42.25 HOUSE MODEL: TWO STOREY				CC LOCATION HYDRANT SERVICE PEDESTAL STREET LIGHT TRANSFORMER POWER CONNECTION SEWER AND WATER SERVICE COMMUNITY MAILBOX
NOTE: ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF. ALL GRADES ARE IN METRES AND DECIMALS THEREOF. THIS PLAN IS SUBJECT TO APPROVAL OF LOCAL APPROVING AUTHORITY.				DATE REVISIONS DRAWN BY: CHECKED BY:

# ALBERTA LAND SURVEYORS



Hagen Surveys	8929-20 Street	Edmonton, AB T6P 1K8	PH : 780 464-5506
Alberta Geomatics	201 , 8762 – 50 Avenue	Edmonton , AB T6E 5K8	PH: 780-437-8033 Email: <a href="mailto:abgeo@telus.net">abgeo@telus.net</a>
Stantec Geomatics	10160-112 Street	Edmonton, AB T5K 2L6	PH:780-917-7000 Fax:780-917-7289
Westacott Consulting Ltd.	# 50,53221 Range Road 223	Ardrossan , AB	PH:780-922-6545 Fax:780-922-1977 <a href="mailto:wcltd@telusplanet.net">wcltd@telusplanet.net</a>
Geomatics Surveys & Eng	9538-87 Street	Edmonton, AB T6C 3J1	PH:780-465-3389 Fax:780-465-5400
Olson Surveys Ltd. ( Cathy Sprott)	Suite 306, 5033-52 Street	Lacombe, AB T4L 2A6	PH :403-782-5358
Maltais Association Surveyors	17011-105 Avenue	Edmonton, AB T5S 1M5	PH:780-483-2015
Snell & Oslund Surveys (1979) Ltd.	5128-52 Street	Red Deer, AB	PH:403-342-1255
On- Site Surveys Inc	Byron Laurie, ALS, P. Eng Travis Young	<a href="mailto:Byron@onsitesurveys.ca">Byron@onsitesurveys.ca</a> <a href="mailto:Travis@onsitesurveys.ca">Travis@onsitesurveys.ca</a>	PH: 780-691-2784 PH:780-691-0793
Alberta Land Surveyors (Brian Doyle )	P.O. Box 796	Millet, AB	PH:780-387-4047 Fax:780-387-4047 <a href="mailto:bdoyle_als@hotmail.com">bdoyle_als@hotmail.com</a>
Navigation Surveys Ltd. (Marty Robinson )	14 Austin Drive	Red Deer, AB T4R 2T9	PH:403-396-4472
WSP Canada – Camrose Branch	Unit 200, 4615-36 Street	Camrose, AB	PH:780-672-2468 Fax:780-672-9146
PALS Geomatics	10704-176 Street	Edmonton, AB T5S 1G7	PH: 780-455-3177 Email: <a href="mailto:plotplan@palsgeomatrics.com">plotplan@palsgeomatrics.com</a>
Lawson Surveyors	13055-156 Street NW	Edmonton, AB T5V 0A2	PH:780-669-4799

**CITY OF CAMROSE****POLICY AND PROCEDURE FOR CONSTRUCTION PERFORMANCE DEPOSITS**

This policy will apply to all development within the City of Camrose.

This policy was developed to protect public and private interests in regard to:

1. unnecessary damage to City infrastructure during construction, including but not limited to streets lanes, sidewalks, curbs, boulevards, trees and curb stops
2. development permit conditions.

The Construction Performance Deposit shall be paid by the Contractor/Developer/Owner prior to issuance of a Building Permit.

<b>For Residential Development:</b>		<b>Fee</b>
A.	Garage and Accessory Building	No Charge
B.	Mobile Homes	\$ 1,000.00
C.	Single Family Residential	\$ 1,000.00
D.	Single Family Residential Valleyview Subdivision	\$ 2,500.00
E.	Duplex Residential	\$ 1,500.00
F.	Triplex/Fourplex Residential	\$ 2,000.00

**All Other Development**

Construction damage deposits for all other development will be calculated at the time of development application, but shall not be less than \$2,500.00, and shall be paid by the Contractor/Developer/Owner prior to the application for Building Permit.

**Administration of Performance Deposits:**

Prior to issuance of a Building Permit, the Contractor/Developer/Owner shall:

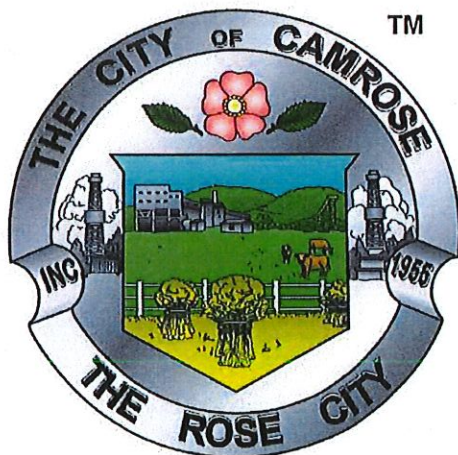
- submit the fee
- complete and return a Site Condition Form to the Engineering Department as attached hereto, and marked Exhibit 'A'.

If damages are reported, an inspection by the City will be undertaken within approximately two weeks of the receipt of reported damages. Any damage will be noted on the Site Condition Form.

If construction proceeds prior to filing a completed Site Condition Form or Building Permit, with the City, or if a Contractor/Developer/Owner is found to be using a lot for access or storage and has not filed a completed Site Condition Form with the City for that lot, the City will assume that no damage was present at the time construction started, and the Contractor/Developer/Owner will be responsible for all damages.

On notification that construction is complete, the City and the Contractor/Developer/Owner will inspect the site within approximately four weeks, record any damages, and complete and sign the Site Condition Form.

**City of Camrose**  
**Lot Grading Policy**  
**For**  
**Single Family Dwelling**  
**And**  
**Duplex Developments**



**Engineering Services**  
**Mirror Lake Centre**  
**5415 – 49 Ave.**  
**Camrose AB, T4V 0S8**  
**Ph# (780)-672-4428**  
**Fax# (780)-672-6316**

**Revised 13 May 1999**

**DEFINITIONS:** (All words defined in this section will be in italics).

**Benchmark:** The bench mark for all lots shall be the top of the back of the sidewalk where it intersects with an extension of the left property line when facing the lot from the front street.

**Building Elevation Certificate:** May be prepared by the builder or owner and shall indicate all elevations in relation to the benchmark.

**Certification of As Built Grades:** Certificate showing all elevations and relevant slopes in relation to site grading. (See "Final Lot Grading Approval").

**Swale:** Concrete drainage swale or grassed area between two adjacent properties constructed at a specified grade to facilitate and control the flow of water.

**LOT CORNER ELEVATIONS:**

Developers shall provide lot grading plans showing the finished lot corner elevations and the direction of drainage flow along each property line for all lots. These plans shall be submitted as a condition of subdivision and shall be submitted prior to plan endorsement.

For existing lots, the developer shall provide to the City at the time of development application, a lot grading plan showing the finished lot corner elevations and the direction of drainage flow along each property line.

**INTERIOR LOT DESIGN:**

Interior lot grading design shall be the responsibility of the property owner and will be subject to the review of the Development Officer.

The interior lot grading design must provide the following slopes:

- if sod or landscape, a minimum grade of 10% from the foundation for a distance of 2 m or to the property line, then 2% for the remainder of the area to the property line,
- if hard surfaced and impervious (driveway and sidewalks), a minimum grade of 5% from the foundation for a distance of 2m or to the property line, then 2% for the remainder of the area to the property line.
- an average of 2% along the common swale between lots on sod with no portion being less than 1.5%,
- not less than 0.5% along the common swale between lots on concrete or asphalt paving.

**NOTES:**

- For lots grading completely in one direction (front to back or back to front) the swales shall be designed to provide for water to be channeled away from the foundation.
- The development officer may modify these requirements under special circumstances (i.e. large acreage type lots).

### **SUBMISSION FOR DEVELOPMENT:**

Two complete sets of building drawings including the following:

- The size and lowest elevation of all basement windows.
- Height of foundation wall.
- The dimension from the top of the finished floor to the bottom of the basement windows.

Site plan indicating the location of the building on the property, and the following elevations:

- all lot corners,
- the grade break point of swales,
- top of the footing,
- finished basement floor,
- finished main floor,
- finished garage floor.

### **SITE PREPARATION:**

The location of the building on the property and the depth of excavation, top of footing, finished basement floor, finished main floor, and finished garage floor shall conform to the approved lot design.

### **EXCAVATION:**

At any time during or after excavation if any indication of groundwater, or disturbed soil conditions are encountered the City Building Inspector shall be notified immediately. Footings shall not be constructed until the excavation is reviewed.

### **HOME CONSTRUCTION:**

Prior to pouring footings any indication of groundwater shall be reported to the City Building Inspector for review prior to pouring of the footings.

Immediately after pouring the footings, and before forming or framing of any foundation walls the builder / owner shall check the footing elevations. The tolerance permitted will be a maximum of 30 mm below or 150 mm above the design elevation as approved on the lot grading plan and plot plan. The builder / owner is responsible to ensure that certification is provided to and approved by the City Building Inspector prior to construction of basement walls.

### **BACKFILL:**

No foundation shall be backfilled prior to acceptance by the City Building Inspector. All backfill shall be placed in accordance with the Alberta Building Code or in the case of a preserved wood foundation in accordance with the designing engineer's directions.

### **REAL PROPERTY REPORT:**

The real property report including the elevation of the top of the foundation in relation to the benchmark shall be provided when the foundation including the garage foundation (if any) is complete and prior to any further development.

**LOT GRADING PRIOR TO LANDSCAPING:**

Prior to placing any topsoil for landscaping the builder / owner shall ensure that the lot is properly pre-grade to at least 100 mm below finished grade with clay or other impervious material. The Builder / owner may in agreement with the City pre grade to 200 mm below finished grade to allow for additional topsoil if the grading permits.

**NOTE:** During construction the area behind any city owned walks shall be graded level with the top of the walk for a distance of not less than 2 m inside the walk until final grading is complete to prevent pooling of water or erosion of the sidewalk base material.

**FINAL LOT GRADING APPROVAL:**

Following placement of topsoil, the property owner shall submit a "Certification of As Built Grades" which demonstrates that:

- The final lot grading is in conformance with the approved lot design within a tolerance of 50 mm.

The builder/owner must provide the Certification of As Built Grades indicating that all grading standards have been met to the City Building Inspector prior to release of the Construction Damage Deposit required by the development standards.

**LOT GRADING MAINTENANCE:**

Since basement backfill settlements can be expected to occur over several years after construction, it is the responsibility of the owner to repair any settlements in order to maintain positive drainage away from the home at all times.

Eaves trough and downspouts shall be installed on all buildings. All downspouts shall have extensions that extend a minimum of 1.5 m away from the foundation. It is also the responsibility of the owner to maintain all downspouts and to ensure that no subsequent modifications to the grading of the lot are made which will adversely affect the drainage of adjacent lots.