



City of Camrose

2025 | Infill Development Design Criteria for Augustana's Historic Character Precinct



A supplement to the City of Camrose Augustana Area Redevelopment Plan



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City of Camrose

Augustana Area Redevelopment Plan

Infill Development Design Criteria for Augustana's Historic Character Precinct

This guide is intended to serve as a resource for the Development Authority and community members—developers, builders, designers, neighbors, who are involved in designing and building a new development in the Augustana Neighbourhood, specifically in the Historic Character Precinct area.

Infill development can take place as construction on vacant land or as redevelopment that replaces pre-existing buildings. These guidelines will help ensure that new residential infill development, within the Historic Character Precinct Area, are sensitively integrated into the Augustana Neighbourhood and achieve the character defining elements of the chosen proposed housing style.

This guide is intended to be used by proposed developers, builders and owners in conjunction with the Augustana Area Redevelopment Plan and the City's Land Use Bylaw. Once a housing style has been proposed on a redevelopment site, the Infill Development Design Criteria for Augustana's Historic Character Precinct apply and will be used by the Development Authority to determine if a building permit will be approved.

AUGUSTANA AREA REDEVELOPMENT PLAN

A Guide to Infill Development Design Criteria for Augustana's Historic Character Precinct

Introduction:

This document, along with the Augustana Area Redevelopment Plan (AARP), sets out planning and design guidelines that are intended to assist the City, homeowners, and builders, in achieving high quality residential infill in the Historic Character Precinct area. Likewise, this document is intended to raise the understanding of residents regarding the design and permit review process for certain types of new construction.

Infill development is the process of developing vacant or underutilized land within existing mature urban areas, or the replacement of existing homes. Increasingly, communities are turning to infill as a positive land use strategy to maintain viable populations and revitalize older areas. By refocusing development in mature neighbourhoods, infill projects attract people and businesses back into the heart of the community. Just as important is ensuring the right fit for the project, and, in some cases, submitted documentation may require substantial amendment or be outright refused. Upholding the vision for a community and the standards for development are more important than any one potential project. The Development Authority should take the long-view, and the outcomes generated by a project could last for generations.

Compulsory statements in either the AARP or LUB must be complied with, in all instances. However, where discretion is granted, it is important to note that some flexibility will be exercised by the Development Authority to respond to individual applications based on features of the site, submitted context statement, and design proposals. The general approach taken with applying flexibly is that referencing and respecting architectural styles of the past is a better approach than pure replication of architectural styles of the past. Whenever flexibility is exercised, the overall intent of this document and the AARP must be upheld, and that is to achieve residential infill that is compatible and complimentary to the neighbourhood.

Context Statement

All Applicants are required to include a context statement with their submission. The context statement outlines how the proposed infill development meets the AARP, LUB, and the Infill Development Design Criteria for the Historic Character Precinct area. This statement shall include a design rationale which addresses the regulations for the style of house being proposed.

Please note, context statements and supplementary information will be circulated to the Augustana Neighbourhood Association.

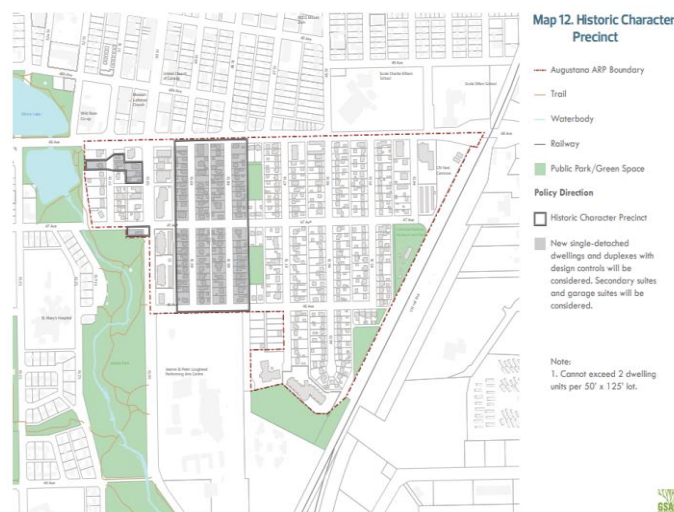
A. Historic Character Precinct

The architectural style of the Augustana Neighbourhood is a mixture of older historic buildings (in the west of the Plan area) and single-detached homes and post-war bungalows (primarily located in the east of the Plan area). This guide is intended to assist redevelopment of homes in the Historic Character Precinct area (figure 1).

The primary objectives of these infill development design criteria are to provide developers with a guide to developing certain housing styles and to:

- Respect the historic properties throughout the precinct.
- Require new development to complement the historical character of the precinct.
- Provide opportunities for contextually sensitive infill development

Figure 1- Historic Character Precinct



1: Map from Augustana Area Redevelopment Plan

Common architectural styles in the Augustana neighbourhood are:

- Craftsman
- Foursquare
- Homestead
- Queen Anne
- Tudor revival
- Victorian

Common architectural features of the historical buildings include:

- Hipped, gable, truncated pyramid, and gambrel roofs;
- Hipped, gable, pediment, and shed dormers;
- Enclosed, flared, and return eaves;
- Stucco, brick, and clapboard siding often in contrasting colours;

- Double-hung, bay windows often in a three, six, or nine over mullion configuration with contrasting trim;
- Enclosed and open porches;
- Detailing such as brackets, exposed purlins, dentils, half-timbering, wood corner boards, tapered wood columns, Doric columns, and masonry piers.

General Lighting Guidelines:

- Homes built in the Historical Precinct area should ensure any outdoor lighting is of low-level light that is soft, subtle and glare free.
- All lighting should cause low visual impact to both the street and neighbouring properties. Apart from soffit lights, which should be limited to entrances, exterior light fixtures should not have a light source directly visible from the street.

B. Housing Styles and Criteria



Craftsman Style
4707 – 49 Street



Foursquare Style
4702 – 48 Street



Simple Foursquare Style
4716 – 49 Street



Homestead Influence
4720 – 48 Street



Tudor Revival Style
4706 – 48 Street



Victorian with Queen Anne Influence
4717 – 49 Street

1. Craftsman Style and Craftsman Influence

The Craftsman style was influenced by the Arts & Crafts movement and these residences typically had low sloping roofs, exposed rafter tails, triangular knee braces, and multi-paned sash windows over a single sash. Bungalow homes have elements of the style. Typically, they are square or rectangular in shape and are one to one- and one-half stories. They often have gabled roofs, and often a gabled dormer. Some have exposed beams and rafter tails. The windows may be paired and are double hung with a multi-paned sash over a single pane sash. Other common features of the Craftsman style include low-pitched gable (triangular) roofs, overhanging eaves with exposed rafters and beams, heavy, tapered columns, patterned window panes and a covered front porch.

Camrose Craftsman and Craftsman Influence Examples:



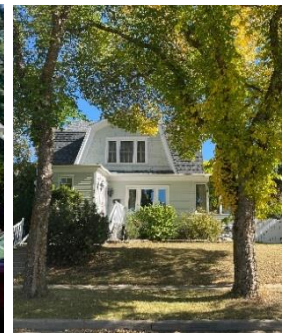
4831 48 Street



4803 48 Street



4707 - 49 Street



4717 - 51 Street

Character Defining Elements

- Low-pitched gable roof with broad, open/overhanging eaves and exposed structural members.
- Flared and return eaves.
- Exteriors feature intentionally exposed beams, brackets, and/or rafters.
- Wide, functional covered front porch, typically battered porch supports.
- Typical Craftsman homes are one to one half storey.
- Home design may be symmetrical or asymmetrical.
- Designed with many windows grouped in sets of 2 or 3, to let in natural light.
- Exteriors are typically painted wood siding, clapboard, traditionally cedar shaker shingles.
- Often includes stone or stucco accents on the exterior.
- Craftsman homes are generally painted in earth tones such as brown and green.

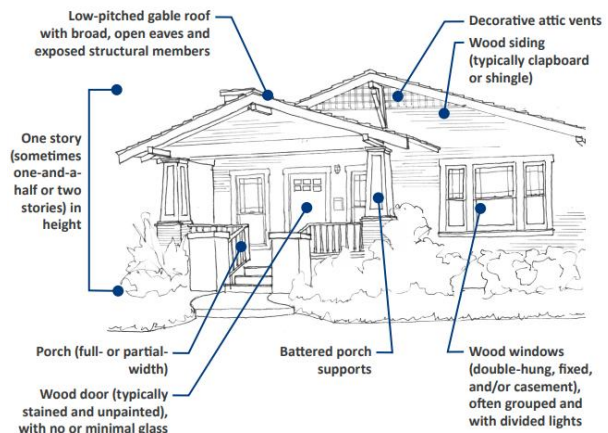


Image 1: City of Anaheim - Architectural Style Guide

Overall Building Massing

The Craftsman, or Arts and Crafts, style includes bungalows, 1½-storey and 2-storey designs with low pitched roofs. Roof overhangs are 1'6" minimum and 2'0" preferred. Verandas are integral and dormers emphasize the styling.

Roof Styles

Permitted roof styles include cottage and gable roofs either side to side or front to back combinations. Roof pitches are 5/12 or greater than 8/12 with front facing inset gables.

Window Styles and Placement

Windows have a vertical orientation: double hung or divided panes with grills in the upper sash while the lower sash is plain. Window surrounds are simple. Windows should be grouped in pairs at minimum.

Stone or Brick Profiles

Brick and wood are permitted and should be used on this style. Stone and brick may be applied at fireplace chases, columns, verandas and garages. Application in panel effect is discouraged. Stone tile is not acceptable finish for this style.

Exterior Cladding

Craftsman style homes may be finished in brick or stone, siding or shakes. More than one dominant finish is used on each elevation, applied horizontally and separated by a wide trim board. Trims are generally painted, stained or metal clad.

Colors

Colors suited to the Craftsman style include deep earth tones accented by heavy white trims. Colors may also be tone on tone.

Defining Details and Entrance Treatment

Partial and full width verandas are a major element of the Craftsman style. Verandas often have a gable roof consistent in pitch and detailing with the main roof, and typically supported by massive tapered columns. The columns may be full height or half height resting on the veranda deck or extending from roof to ground. The base will be larger than the post and likely tapered in stone, shakes or a painted finish. Dormers and inset gables are finished in shakes, exposed beams or angle braces. Entry doors are simple in styling and include small glass panes.

- Development shall be one to two stories in height.

Windows

Notwithstanding windows located on an Enclosed Front Porch or balcony, where located on a façade facing the Front Lot Line:

- Windows shall provide the appearance of a hung style window
- Individual windows shall be vertically oriented with a height to width ratio of 2:1 or greater
- Individual windows shall not exceed 2m tall by 1m wide, but may be arranged in groups to create larger areas of glazing.

Roofs and Dormers

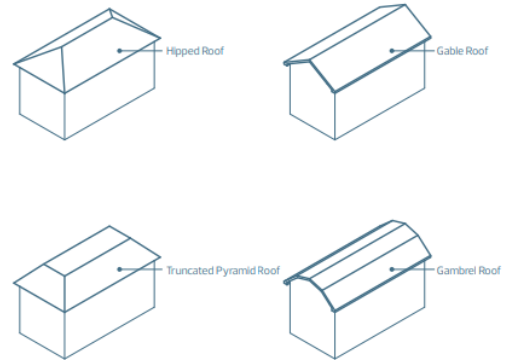
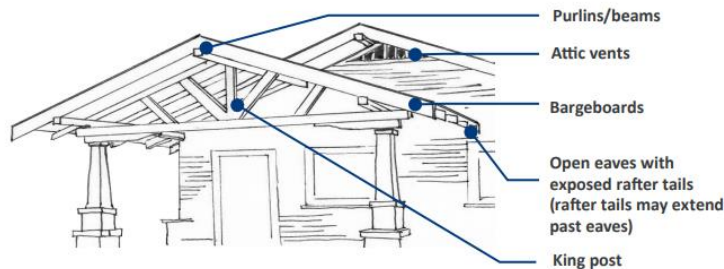


Image 2: City of Anaheim- Architectural Style Guide

- Roofs shall be either a front-gable, cross gable, hipped roof or side-gable
- Dormers shall be of a gabled, hipped, or shed roof style
- Dormers shall project vertically from a sloping roof and shall be located on the front façade of the home
- Craftsman buildings typically had wood shingle roofing. However, asphalt composition shingle roofing is an acceptable material. Roof shingles shall overlap and shall generally be darker and neutral in color.
- Roof features shall integrate a combination of purlins/beams, attic vents, bargeboards, open eaves and king post.
- Development is encouraged to include craftsman chimneys which are typically visible at the exterior and located on the side façade. Brick and stone chimneys are not painted.
- Roofs may have wide or bellcast eaves
- Eaves may be open or closed

Materials

- Development shall incorporate horizontally orientated siding.
- Developments shall incorporate either wood clapboard siding, wood shingle siding, stucco cladding, horizontal clapboards or a combination of brick, wood, and stucco. Development is encouraged to follow a neutral, earth toned pallet however, lightened paint pallets and bright colors may also be appropriate in particular areas. Craftsman houses commonly feature three (and sometimes four) paint colors: one for the cladding, one for trim, and one or two for accents such as windows and decorative details.

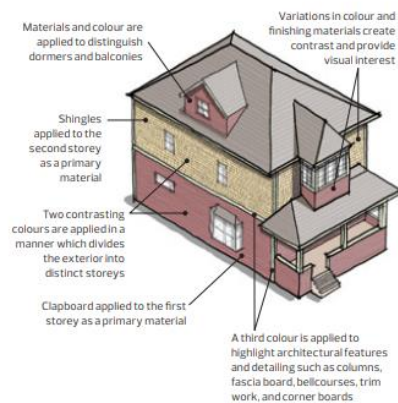


Image 3: City of Edmonton - Westmount Architectural Heritage Area

- Development is encouraged to follow traditional patterns of material application, including variations in finishing materials to provide contrast and articulate façades.
- Development is encouraged to enhance façades through the use of multiple colours. Where applied, colour should:
 - Articulate façades and provide visual interest
 - Create contrast
 - Highlight architectural features and detailing
- Developments are encouraged to leave foundations exposed however light, neutral colors will be permitted.

Porches

- Development shall include a front porch.
- Development should be encouraged to include porch supports. Low porch pedestals or wood posts. Pedestals constructed of brick, stucco, wood siding and stone.
- Front porches may be full-width or half-width and may be enclosed, partially enclosed, or unenclosed.

Source: [Craftsman style guide \(mount-dora.fl.us\)](http://mount-dora.fl.us)

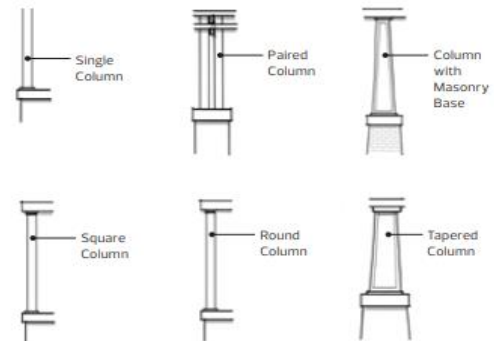
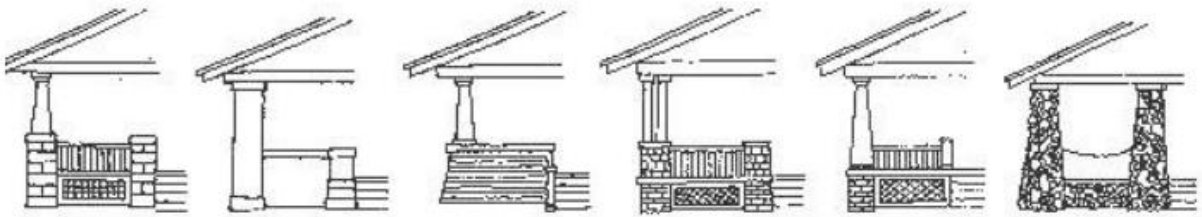


Image 4: City of Edmonton - Westmount Architectural Heritage Area



Windows

- Windows may be arranged individually and/or in groups to create larger areas of glazing
- Windows may follow traditional patterns of arrangement, including tripartite and bay windows
- Windows may feature upper sashes divided into multiple panes.



City of Edmonton: Westmount Architectural Heritage Area.

2. Foursquare

American house style popular from the mid-1890s to the late 1930s. It is a two-story house with a rectangular footprint, and a front porch that runs along the full width of the house. The Foursquare is often called the “Prairie Box” house and is distinguished by its box shape. The house gets its name from the four-square rooms on each floor. Other key distinguishing characteristics of the Foursquare house are the symmetrical shape, little ornamentation, and plain porch columns.

Camrose Foursquare Home Style Examples:



4716 49 Street



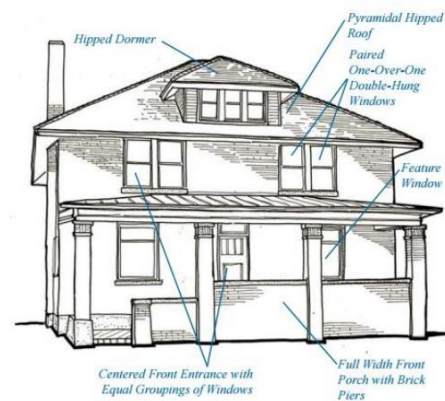
4802 49 Street



4801 49 Street

Character Defining Elements

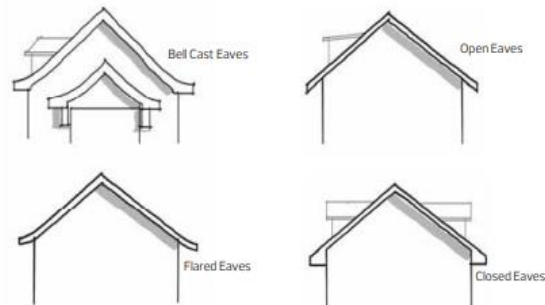
- Two to two-and-a-half stories high
- Box Shape
- Brick Chimney
- Exterior clad in brick, clapboard, or wooden shingles
- Symmetrical design
- Low pitched hipped roof
- Deep overhangs
- A center dormer
- A front porch
- Square footprint
- Dormer windows



City of Laafayette

Roof/ Massing

- Roofs shall be either gabled or hipped.
- The principle roof shall have a minimum pitch of 6/12 or greater.
- Development shall include a front-facing hip dormer.
- Development shall be two-and-a-half stories high.
- Roofs may be articulated through the use of dormers.
- Roofs may have a wide and/or bell-cast eav



City of Edmonton: Westmount Architectural Heritage Area.

- Eaves shall be open or closed.

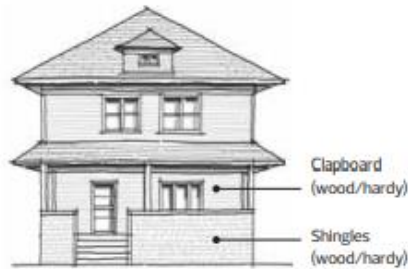
Porches

- Development shall include either a partial or full-width one-storey porch.
- Development shall include a gabled roof on projecting porch with column supports.

Materials/ Colors

- Development shall be primarily clapboard and shingle as primary materials.
- Developments shall incorporate stucco and brick as accent materials.
- Contemporary equivalents to these materials may be considered.
- Development shall use limited vinyl siding materials.
- Development shall follow traditional patterns of material application, including variations in finishing materials to provide contrast and articulate facades.
- Development shall enhance façades through the use of multiple colors:
 - Where applied, color should:
 - Articulate façades and provide visual interest
 - Create contrast
 - Highlight architectural features and detailing
- Chimneys are encouraged to be located on a side elevation
- Porches are encouraged to include square or battered piers.

Primary Materials



Accent Materials



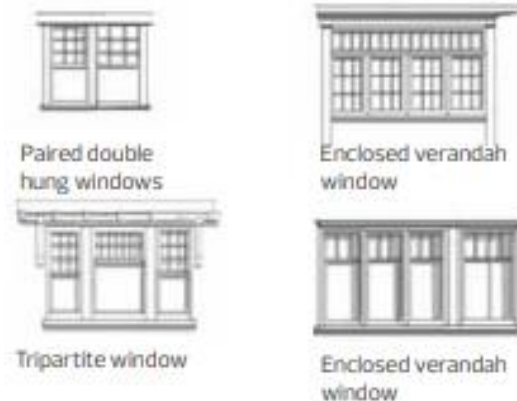
City of Edmonton: Westmount Architectural Heritage Area.

Windows

City of Edmonton: Westmount Architectural Heritage Area.

When located on a street-facing façade:

- Windows shall be hung style
- Windows may be vertically oriented
- Individual windows shall have a height to width ratio of 2:1 or greater
- Windows will be arranged with an overall composition displaying strong symmetry
- Individual windows shall not exceed 0.9m x 1.8m (3ft x 6ft) in size
- Windows may be arranged individually and in groups
- Windows may follow traditional styles, including tripartite and bay windows
- Windows may feature upper sashes divided into multiple panes



3. Tudor Revival

The Tudor style replicated the cottages and homes of the English countryside and became one of the many period revival styles that began in the 1920s, and was popular from the late 1920s through the early 1930s. Traditional Tudor houses typically incorporate steeply pitched roofs, often with minimal overhang at the eaves, multiple gables and dormers, turrets, elaborate stonework, decorative chimneys, arched entryways, and false half-timbering in-filled with stucco, concrete, brick, or stone.

Camrose Examples of Tudor Housing Style:



4706 – 48 Street

Character Defining Elements

- Slate or Wood Shake roof
- Hip roof
- One to two stories
- Cantilevered (overhanging) second story extending over a large porch.
- Steep pitched roof with prominent cross-gables
- Brick, stone, stucco or slate exteriors
- Half-timbered details on upper stories or gable ends
- Multi-paned windows
- Projecting stories
- Large central chimneys
- Cantilevered second floor pop-outs
- Individual casement windows, or double or single-hung multi-paned windows, with either wood or metal frames
- Stained glass windows to accent interior and exterior features
- Windows in groups of two, three or four
- Simple doors with a stained finish and stained or beveled glass panels
- Development shall be one to two stories in height

Roofs and Dormers

- Developments front house roof lines shall contain batten gables. Dormers and shed roof dormers are also accepted as accents
- All roofs shall be minimum 8/12 and maximum 12/12 in slope.
- Roof over overhang shall be a minimum of 8 inches, maximum of 12 inches.
- All roofing materials must be architectural asphalt shingles. Concrete roofs and cedar shake roofs are not acceptable.
- Developments may include dormers and shed roof dormers as accents.
- Development shall include a tall chimney.

Materials/ Colors

- Developments exterior finishes shall include either cement fiber or composite siding (vertical or horizontal). Vinyl, metal, and natural wood or shake style finishes are not accepted.
- Developments shall use either slate, wood shingle, or asphalt roofing.
- Mock half-timbering is encouraged (stucco and wood).
- Battens shall be used to divide up wall surfaces, in particular on second stories and in gables. Battens shall contrast in material from primary exterior cladding, but should only have minimal contrast in color.
- Accent materials shall be cement fiber trim.
- Vinyl is not acceptable.
- Acrylic, stucco, hardboard siding and Hardi Plank siding are permitted.
- A combination of three minimum colors per home for major exterior features shall be required and applied to the main exterior walls, trim, doors, fascia & soffits, or any other major feature of the home's exterior. Colors should appropriately match the architectural style of the home. No bright colors, bright whites or blacks will be accepted.
- Developments are encouraged to include shutters, window boxes, carriage lights, second floor cantilevers and exterior wall niches.
- Masonry will be accepted. Stone should be large square shapes or brick. Stone tile is acceptable. Narrow ledge or round stones will not be accepted.

Porches

- Developments shall have an arch detail to the entrance of the home. Entrance feature must be single storey.
- Developers shall not have open verandahs, pillars and columns.
- Front entrances shall be arched.
- Recessed or inset doorways are encouraged.
- Vestibules with curved arches are also encouraged.

Windows and Doors

- Developments shall incorporate a recessed wooden (or wood look alike) front door.
- Front gables and bay windows are required. Developments shall include tall windows with multiple panes (diamond-shaped leaded glass is traditional).

4. Victorian Design with Queen Anne Influences

Although the Queen Anne style originated in England in the 1800s, it was named for Queen Anne, who ruled in the early 1700s. In the 1860s a revival movement of the Queen Anne style began in England and soon moved across the Atlantic Ocean to North America, where the first Queen Anne home was built in 1874. The Queen Anne style in Edmonton and Camrose was likely introduced in the 1890s by newcomers from eastern Canada, where it was already well established in residential design. However, unlike Ontario, Edmonton's surviving Queen Anne homes are quite modest. While the basic form, including the roofline, verandahs, and turrets remain, few local Queen Anne homes have the ornate detailing seen elsewhere. The Queen Anne style was relatively uncommon in Edmonton and Camrose, though there are a few remaining examples from the early 1900s (Edmonton Historical Board).

Camrose Queen Anne Housing Style Examples:



4704 – 50 Street



4717 – 49 Street

Character Defining Elements

- Intricate details and trim
- Often three or more colors for exterior
- Rounded towers, turrets, or facades
- Wrap-around porches
- Asymmetrical facades and features
- Complex, asymmetrical roof with steep pitches and multiple gables
- Large windows that may feature stained glass
- Three or more stories
- Pyramidal or gable roofs, usually with cross gables
- Hipped Roof
- Common building materials included: red brick, stone or wood trim, wood clapboard or shingles
- Dormers
- Brick Chimney
- Decorative elements used to avoid the appearance of smooth walls
- Some have classical columns, half-timbering, or patterned brickwork
- Development shall be three or more stories high

Materials/ Colors

- Developments shall use a variety of materials such as patterned brick or stone, wood shingles, clapboard, slate and stucco.
- Developments shall use three or more colors for the exterior.
- Developments are encouraged to incorporate decorative elements to avoid the appearance of smooth walls.

Roofs

- Developments shall be complex, asymmetrical roofs with steep pitches and multiple gables.
- Developments shall incorporate roofs of visual interest with a variety of gables, dormers, turrets, and towers.
- Developments shall include either a pyramidal or gable roofs, with recommended cross gables.

Windows

- Developments shall incorporate bay windows and sashes.
- Stained glass windows are encouraged.
- Sashes are strongly encouraged. Lower window sashes can include a single pane of glass. The upper is encouraged to have multi-paned or framed by small square panes. More elaborate window sashes can include stained glass in the upper portion of a double-hung window or in a transom.

Porches

- Developments shall incorporate single story wrap around front porch.
- Developments shall include either decorative columns, brackets or applied ornaments.
- Second story porches may be considered.
- Enclosed front porches are encouraged.

C. Sources

Westmount Architectural Heritage Area Rezoning Drop-in Workshop [Westmount Architectural Heritage Area - Rezoning Workshop Information Boards - September 2018 \(edmonton.ca\)](#).
GSA. City of Edmonton.

Crossings a place where life happens. Design and Development Guidelines 2016. City of Lethbridge. [PHASE 3 CROSSINS DESIGN & DEVELOPMENT GUIDELINES \(lethbridge.ca\)](#)

Camrose Heritage Inventory. [Heritage-Survey-and-Inventory---2011.pdf \(camrose.ca\)](#)

Tudor Revival Style Guide. [chapter-4-11 tudor-revival revised \(longbeach.gov\)](#)

City of Anaheim. Architectural Style Guide: Craftsman.
<https://www.anaheim.net/DocumentCenter/View/26735/Anaheim-Architectural-Style-Guide-Craftsman>

[Craftsman style guide \(mount-dora.fl.us\)](#)

City of Edmonton. Glenora Heritage Character Area Rezoning. [Glenora Heritage Areas - Project Overview and Character Analysis. \(edmonton.ca\)](#)

City of Boise. Design Guidelines for Residential Historic Districts. [residential-historic-guidelines_4-8-14.pdf \(cityofboise.org\)](#)

City of Red Deer. [Land Use Bylaw 3357/2006 - Part 7 Overlay and Other Districts and Regulations \(reddeer.ca\)](#)

D. Application

AUGUSTANA AREA REDEVELOPMENT PLAN

A Guide to Infill Development Design Criteria for Augustana's Historic Character Precinct

This document is intended to be used in conjunction with the Augustana Area Redevelopment Plan and the City of Camrose's Land Use Bylaw.

***Please submit this form as a part of your application to the Planning Department.**

Name: _____

Address: _____

Email: _____ **Phone:** _____

Please indicate which architectural style has been referenced in the submitted application (select 1):

- Craftsman and craftsman influence
- Foursquare
- Queen Anne
- Tudor revival
- Victorian with Queen Anne influences

*A mixture of housing styles is not permitted.

Please submit a context statement and documentation of proposed design elements, materials, etc. and information on the ways in which you will achieve the character defining elements of the housing style you are choosing for your development.